

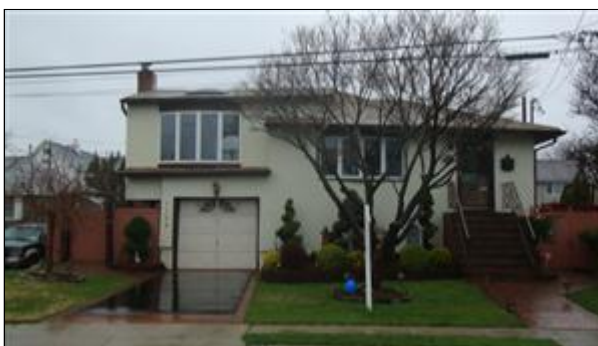


The Inspection You Can Trust!

Inspection Report

Ms. Michelle Diamond

Property Address:
888 Home Inspection Way
Wantagh NY 11040



888 Home Inspection Inc.

**Kin Li 16000036610
3280 Sunrise Highway
Suite 283
Wantagh, NY 11793
1-888-570-0018**

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Date: 11/30/2010	Time: 09:30 AM	Report ID: N12-0510
Property: 888 Home Inspection Way Wantagh NY 11040	Customer: Ms. Michelle Diamond	Real Estate Professional: Jayme Lancellotti Prudential Douglas Eliman

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Satisfactory (SA) = Element was functional, and in good working order and condition at the time of inspection

Fair (FA) = Element was functional at the time of inspection. However, condition was less than satisfactory due to a variety of factors including (but not limited to) age, wear and tear from usage, or lack of maintenance, and may require repairs or replacement in the near future.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Remark (RK) = See special remarks

Standards of Practice:

New York State standard of practice

Attendance:

Buyer(S), Listing Agent(S)

Type of building:

Single Family

Style of Home:

Cape

Status of home:

Occupied

Approximate age of building:

57 years

Temperature:

Below 40

Weather:

Clear, Sunny

1. ROOFING

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

		SA	FA	RR	NI	NP	RK	Styles & Materials
1.0	ROOF COVERINGS			X				Roof Covering: Asphalt roll roof
1.1	PLUMBING STACKS	X						TYPE: Moderate Slope
1.2	VENTILATION COVERS	X						Number of layer: 2 layers
1.3	FLASHINGS	X						Est. Age: 20 Plus
1.4	FASCIA / SOFFITS/ RAKE BROAD	X						Design Life: 20-25 years
1.5	SKYLIGHTS						X	Limitations: Roof Height Viewed roof covering from:
1.6	GUTTERS		X					Ground
1.7	DOWNSPOUTS		X					Upstair windows
1.8	CHIMNEY #1			X				Binoculars
1.9	CHIMNEY CAP #1			X				Limitations: Roof Height and Design Sky Light(s):
								Fixed

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Chimney # 1:
Type: Masonry
Location: Left Side
Limitations:
High and design

Comments:

1.0 The roof covering is very old, and the life of covering is approaching the end of the design life. The covering maybe not need to replaced immediately, but anticipate repair or replacement in the near future.

Consult roofer for estimates. 888 Home Inspection is not authorized to give cost estimates. Contact 2-3 roofing contractors to get the approximate cost. Labor rates very greatly.

1.1 Plumbing stacks noted. all vent pipe flashing should be checked periodically and should be repaired and /or sealed as needed.

1.3 Properly Flashed.

1.5 Skylight noted, Skylights are particularly prone to leakage and may need periodic repair and or re-sealing. No leakage stains at the time of inspection. The integrity of the flashing is generally the first point to consider when leakage occurs. Surface damage or loss of the seal on insulated glazing can occur, but such a defect may not be readily apparent during a inspection.

1.6 The gutters are full of debris in areas and needs to be cleaned. The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist.



1.6 Picture 1

1.7 To minimize water ponding at the foundation and the potential for interior water penetration, downspout extensions or splash blocks should be utilized at the termination points of all downspouts/roof drains.



1.7 Picture 1

1.8 (1) Recommend re-mortar/re-pointing of bricks at the top of the chimney. Contact chimney contractor to repair. This is a common issue with chimneys.

(2) visual inspect outside of the chimney only, I do not inspect the liner inside of chimney, because often it would require disassembly of vent pipe either at furnace or vent hood on roof. Also, black powder dust is expected and should be cleaned from inner walls of liner in order to properly inspect for breaks or loose sections. I recommend a licensed chimney sweep clean and inspect for safety.

1.9 No chimney cap observed. Recommend installing to prevent the entrance of the elements, local wildlife, and to preserve the life of the chimney as well as minimize maintenance.



1.9 Picture 1

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. EXTERIOR

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		SA	FA	RR	NI	NP	RK	Styles & Materials
2.0	SIDING/WALL	X						Siding Style/Siding Material: Lapped Siding
2.1	ENTRY DOOR	X						Brick
2.2	DECK #1		X					Exterior Entry Doors: Wood
2.3	STAIRS/STOOPS		X					DECK # 1: Deck: Wood Flooring Location: Rear of House
2.4	RAILINGS			X				Special Limitations: Inaccessible Under-Structure
2.5	FOUNDATION COATING	X						SPECIAL LIMITATIONS: Vegetation Overgrowth
2.6	ELECTRIC/GFCI			X				
2.7	EXTERIOR FAUCET(S)				X			
2.8	TRIM						X	
2.9	FOUNDATION WASTE LINE VENT:	X						
2.10	VEGETATIONS			X				
2.11	DOOR BELL	X						

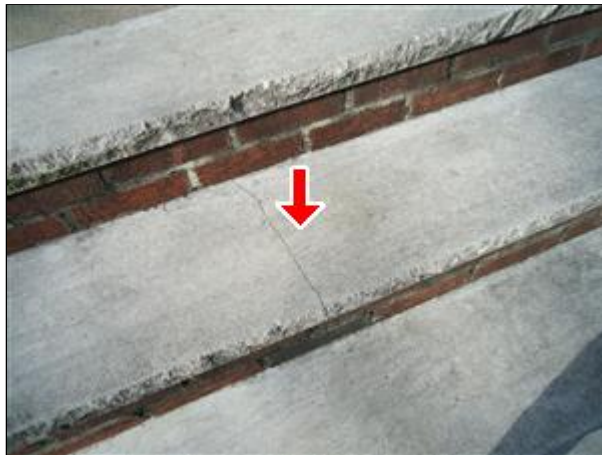
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Comments:

- 2.0** Vinyl siding, is in good conditions.
- 2.1** (1) Aging, but well preserved/functional.

(2) Older doors, or improperly installed doors on any house may leak. Because of this, the possibility of hidden damage around all and doors exists, whether the doors are original or have been replaced.
- 2.2** Weathered deck boards noted; repair and proper maintenance as required.
- 2.3** Stairs/stoops in front of home is in good condition.

Stairs/stoops in rear of home shows some minor cracks,repair or replace as desire.



2.3 Picture 1

2.4 Handrails are required along the stairway. They must be graspable and securely fastened to the wall and/or support.



2.4 Picture 1



2.4 Picture 2

2.6 (1) Replace missing/broken weatherproof outlet cover on exterior outlet at front of home,and the outlet has no power at the time of inspection,investigate and repair by a licensed electrician as needed.(or find out from the seller if there is a switch to control the outlet)



2.6 Picture 1

(2) Most of the outlets are not GFCI outlets; Recommend upgrade to GFCI at outdoor outlets by a licensed electrician.

2.7 Not checked - winterized/water off.

2.8 Aluminum capping on window and door trim will require periodic re-caulking.

2.10 It is suggested that vegetations be trimmed away from house. A minimum clearance of 1 foot away from house is recommended.



2.10 Picture 1

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. SITE ELEMENTS

		SA	FA	RR	NI	NP	RK	Styles & Materials
3.0	WALKWAYS			X				WALKWAYS/DRIVEWAYS: Walks: Concrete
3.1	DRIVEWAY		X					Driveway: Asphalt
3.2	BASEMENT WINDOW/WINDOW WELLS			X				RETAINING WALLS: Type: Masonry
3.3	GRADING AT FOUNDATION-WATER INTRUSION FACTORS						X	Location: Front of the house
3.4	SITE GRADING WATER INTRUSION FACTORS						X	SPECIAL LIMITATIONS: Vegetation Overgrowth
3.5	SUB-GRADE ENTRYWAY			X				
3.6	SPRINKLER SYSTEM						X	
3.7	FENCES/GATES			X				
3.8	VEGETATIONS			X				

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Comments:

3.0 Cracking/heaving noted. Trip hazard, repair or replace as needed.



3.0 Picture 1

3.1 Typical cracks and surface uneven noted. Recommended sealing driveway every 5 years.

3.2 Rotted wood widow frame noted, repair place as needed.

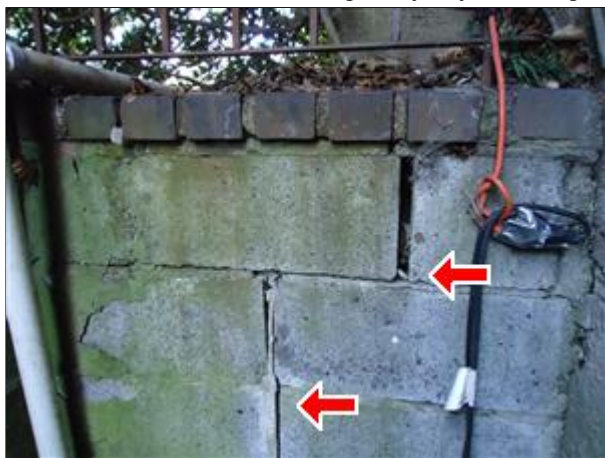


3.2 Picture 1

3.3 Level grade noted. Monitor run-off; advise improving if possible. Correct as required should future changes occur.

3.4 Level grade noted. Monitor run-off; advise improving if possible. Correct as required should future changes occur.

3.5 (1) Crack/deteriorated Sub-Grading entryway retaining wall noted, repair as needed.



3.5 Picture 1



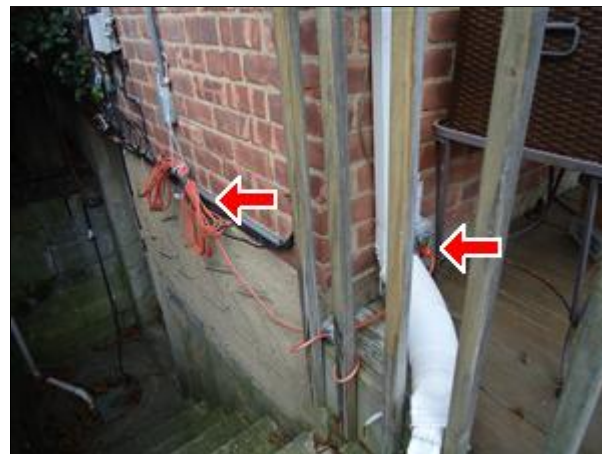
3.5 Picture 2

(2) Sump pump noted at the sub-grade entryway, not checked due to low water level in the pit. It is to recommend to find out from the seller if the pump is in good working condition.

Sump pump is improperly wired to outdoor outlet with extension cable, corrected by a licensed electrician as needed.



3.5 Picture 3



3.5 Picture 4

3.6 The sprinkler system was not inspected. The seller of the property should demonstrate the operation and give you the location of all sprinkler heads. All visible water piping and shut off valves noted in plumbing section.

The presence of the backflow preventer is important when a sprinkler system is installed, the sprinkler system should be tested annually.

3.7 Damaged fencing observed. Have repaired.



3.7 Picture 1

3.8 There is a tree growing too close to the left of the house, recommend remove or trimmed away from home.



3.8 Picture 1

4. GARAGE

		SA	FA	RR	NI	NP	RK	Styles & Materials	
4.0	ROOF COVERING			X				GARAGE DESCRIPTION:	
4.1	SIDING/WALL			X				Type: Detached	
4.2	ROOF FRAMING	X						Construction: Wood Frame	
4.3	ROOF/DECK/SHEATHING	X						Finish at House: Exposed Framing	
4.4	FRAMING	X						GARAGE ROOF:	
4.5	GARAGE FLOOR			X				Type: Moderate Slope	
4.6	VEHICLE DOOR(S)			X				Material: Asphalt Shingle	
4.7	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)			X				Est. Age: 30+ Years	
4.8	ELECTRIC /GFCI			X				Design Life: 20-25 Years	
4.9	WOOD DESTROYING INSECTS						X	Inspection Method: Ground	
		SA FA RR NI NP RK							SPECIAL LIMITAIONS:

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Comments:

4.0 Well beyond design life,replace as needed.

4.1 Asbestos cement siding at garage,racks and damaged sidings noted at many places.repair and replace as needed.



4.1 Picture 1



4.1 Picture 2

4.4 Where visible, garage extremely cluttered.

4.5 Heavily cracked and settled. Contact mason to repair/replace as needed.

4.6 (1) No handle at door, recommend adding one.

(2) Recommend installation of "snubber cables" inside springs for safety.

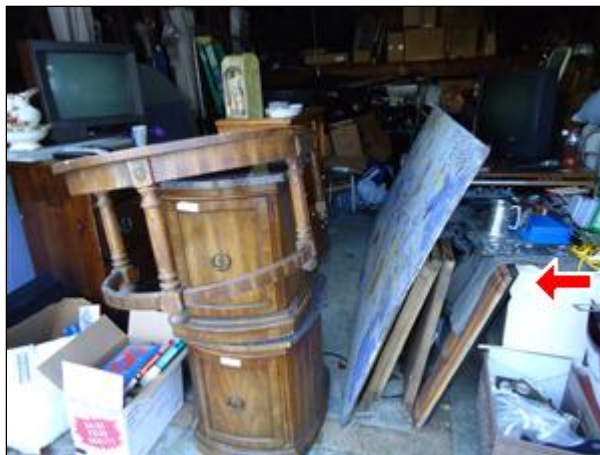


4.6 Picture 1

4.7 The garage door openers are in place but are not operational. replace as needed.

4.8 Not GFCI outlets; Recommend install GFCI outlets in garage for safety.

4.9 No evidence of wood destroying insects found in areas visible at time of inspection. Because it is impossible to see the framing in the entire structure due to the storages and the belongings inside the garage, we suggest that you consider a termite service contract from a licensed pest control company.



4.9 Picture 1

5. ATTIC

		SA	FA	RR	NI	NP	RK
5.0	ROOF FRAMING	X					
5.1	ROOF DECK/SHEATHING	X					
5.2	VENTILATION PROVISIONS	X					
5.3	INSULATION			X			
5.4	INACCESSIBLE AREAS						X

Styles & Materials

ATTIC:

Style: Mostly Finished
 Entrance: Scuttle Hatch
 Inspection Method: From Entrance Area

ROOF CONSTRUCTION:

Framing: Wood Rafter
 Deck: Wood Sheathing

INSULATION:

Form: Blankett
 Type: Fiberglass
 Est. Average: 3"-5"

VENTILATION PROVISIONS:

Location: Gable Ends

SPECIAL LIMITATIONS:

No Walkway
 Low Clearance
 Duck work,A/C unit(s)
 Finished Areas

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Comments:

5.3 Insulation is inadequate according to today's standard, recommend adding adequate insulation for energy efficiency.



5.3 Picture 1

5.4 (1) Finish materials prevent inspection of many areas. (2) Insulation prevents full inspection of many areas. (3) Structure/design no walkway or high temperature prevent full inspection of many areas.

6(A). Bathroom # 1

		SA	FA	RR	NI	NP	RK	Styles & Materials
6.0.A	SINK(S)				X			DESCRIPTION: Full Bath
6.1.A	WATER FLOW AT FIXTURES				X			LOCATION: Second Floor
6.2.A	TOILET	X						VENTILATOR(S): Window
6.3.A	STALL SHOWER / STEAM SHOWER	X						
6.4.A	SURRONS/ENCLOSURES/WALL TILES	X						
6.5.A	FLOOR(ING)	X						
6.6.A	CEILINGS	X						
6.7.A	WALLS				X			
6.8.A	VENTILATION'		X					
6.9.A	ELECTRIC/GFCI				X			

SA FA RR NI NP RK

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Comments:

6.0.A Stopper is missing. Correct is needed.



6.0.A Picture 1

6.1.A

Leak at hot /cold water piping. Repair as soon as possible to prevent further damage to the vanity or bathroom subfloor as needed.



6.1.A Picture 1

6.4.A The waterproof covering (surround) at the tub/shower must be maintained to prevent damage. All surfaces should be checked and repaired as needed. Leakage can damage to substrate and prevent proper attachment.

6.7.A Cracks noted at wall, repair as needed.



6.7.A Picture 1

6.8.A Recommend add power exhaust ventilation to improve bathrooms ventilation.

6.9.A Not GFCI outlets, replaced with GFCI outlet in all bathroom areas by a licensed electrician is recommended.

6(B). Bathroom # 2

		SA	FA	RR	NI	NP	RK	Styles & Materials
6.0.B	SINK(S)	X						DESCRIPTION: Full Bath
6.1.B	WATER FLOW AT FIXTURES			X				LOCATION: First Floor
6.2.B	TOILET	X						VENTILATOR(S): Exhaust fan & Window
6.3.B	BATHTUB/JETTED WHIRLPOOL TUB	X						
6.4.B	SURRONS/ENCLOSURES/WALL TILES	X						
6.5.B	FLOOR(ING)	X						
6.6.B	CEILINGS	X						
6.7.B	WALLS		X					
6.8.B	VENTILATION'	X						
6.9.B	ELECTRIC/GFCI	X						
6.10.B	DOOR			X				

SA FA RR NI NP RK

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Comments:

6.1.B (1) The cold water supply pressure/flow to the sink is very low and needs to be checked by a qualified plumber and corrected as needed to provide normal flow levels.

(2) The hot water faucet handle is loose and not working properly, repair as needed.

6.4.B The waterproof covering (surround) at the tub/shower must be maintained to prevent damage. All surfaces should be checked and repaired as needed. Leakage can damage the substrate and prevent proper attachment.

6.7.B
Aging and scuffed wallpaper on wall, improvement as desired.

6.10.B Damage noted at the closet door, repair as needed.



6.10.B Picture 1

6(C). Bathroom # 3

SA FA RR NI NP RK

Styles & Materials

6.0.C	GENERAL COMMENTS/SPECIAL REMARKS			X		
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DESCRIPTION:

Full Bath

SA FA RR NI NP RK

LOCATION:

Basement

LIMITATIONS:

Under Renovation

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Comments:

6.0.C The basement bathroom is under renovation, work is not complete at the time of inspection, have an estimate from a licensed constructor for the cost of completion as recommended.



6.0.C Picture 1

7. KITCHEN

		SA	FA	RR	NI	NP	RK	Styles & Materials
7.0	SINK(S)	X						FREE STANDING RANGE/OVEN: Electric Range
7.1	WATER FLOW AT FIXTURES			X				Estimated Age: 15-20 Years
7.2	FLOOR(ING)	X						DISHWASHER: Estimated Age:15-20 years
7.3	WALLS	X						VENTILATOR: Recirculating
7.4	CEILINGS	X						Integral w/Microwave
7.5	FREE STANDING RANGE		X					
7.6	DISHWASHER						X	
7.7	ELECTRIC/GFCI			X				
7.8	VENTILATOR		X					
7.9	COUNTERTOP/CABINETS	X						

SA FA RR NI NP RK

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Comments:

7.1 Faucet hand spray control is damaged,replace as needed,



7.1 Picture 1

7.5 Range is functional at the time of inspection. Older appliance, anticipate proper maintenance or repair as needed.

7.6 Ran 1 cycle of wash. Any assessment of an installed dishwasher is limited to a single cycle operation of the motor and visual check of other readily accessible components. Dishwasher/cleaning adequacy and soap dispenser function were not evaluated. This is high maintenance item. Seal leaks may develop after vacancy, other inactive periods, and with age.

Older appliance, anticipate proper maintenance or repair as needed.

7.7 Not all outlets are GFCI outlets, replaced all the outlets with GFCI outlets in all kitchen area by a licensed electrician is recommended.

7.8 Recirculating, recommend vent to outside. Keep filter clean.

8. INTERIOR ELEMENT

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

		SA	FA	RR	NI	NP	RK	Styles & Materials
8.0	CEILINGS	X						Ceiling materials: Drywall
8.1	WALLS	X						Wall Material: Drywall
8.2	WINDOWS						X	Floor Covering(s): Carpet Hardwood
8.3	FLOORS		X					Window Types: Thermal/Insulated
8.4	RAILINGS			X				
8.5	STAIRS	X						
8.6	INTERIOR DOORS & CLOSET DOORS						X	
8.7	DETECTORS(Smoke/ Carbon Monoxide)						X	
8.8	PATIO/DECK DOOR(S)	X						

SA FA RR NI NP RK

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Comments:

8.0 Common minor cracks /damages and imperfections noted. These are cosmetic issues. Repairs can be done when decorating.

8.1 Common imperfections/minor cracks and damages noted. These are cosmetic issues. Repairs can be done when decorating.

8.2 (1) A random sample of windows are inspected. Remember to check all of the windows prior to the closing.

(2) Older Windows, or improperly installed windows on any house may leak. Because of this, the possibility of hidden damage around all windows. Whether the windows are original or have been replaced.

8.3 Wood flooring has some imperfect areas in the living room area,repair as desired.

Typical wear and imperfection noted at the carpet areas.



8.3 Picture 1

8.4 Handrail is loose; correct as required.

8.6 Most door open and close freely, Due to temperature changes, some doors may stick from time to time.

8.7 While it was not determined if the installed detectors are smoke, CO, or both. Detectors were noted in this house. Smoke and CO detectors are not tested as part of a home inspection. It is VERY IMPORTANT that you have working smoke and CO detectors at each floor. All detectors should be mounted according to manufacturers recommendations for proper function.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. FOUNDATION / SUBSTRUCTURE

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		SA	FA	RR	NI	NP	RK	Styles & Materials
9.0	FOUNDATION WALLS			X				CONSTRUCTION TYPE: Basement
9.1	COLUMNS OR PIERS	X						BASEMENT AREA(S): Location: Original House
9.2	FLOOR FRAMING	X						FOUNDATION WALLS/PIERS: Concrete Walls
9.3	MAIN BEAM(S)	X						FLOOR STRUCTURE: Floor Framing: Wood Joists
9.4	STAIRS/RAILINGS	X						Beams: Steel I-Beam
9.5	BASEMENT FLOOR(SLAB)				X			Beam Support: Metal Columns
9.6	WATER PENETRATION CONCERNS			X				SPECIAL LIMITATIONS: Finish Materials
9.7	WOOD DESTROYING INSECTS ISSUES						X	Floor Coverings
9.8	POSSIBLE ASBETOS ISSUES			X				
9.9	POSSIBLE MOLD ISSUES						X	

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Comments:

9.0 (1) Signs of deterioration and spalling noted at concrete foundation wall, contact foundation specialist for an evaluation / repair as needed.



9.0 Picture 1

(2) No signs of significant cracking at time of inspection.

9.2 Where is visible, basement ceiling is 70% finished.

9.5 Not visible due to floor coverings.

9.6 (1) Peeling/curling floor tiles indicates possible water penetration problems, evaluate by a basement water proof specialist as recommended.



9.6 Picture 1

(2) Supplemental: General conditions: Most houses have the potential for surface or subsurface water penetration. Regardless of any specific report comments, it would be prudent in all cases to discuss local conditions and concerns with the present owner and local authorities. Any comments made in this report are based on evidence/indication present at the time of inspection only. It is not possible to accurately determine the extent of past conditions or to predict future concerns. If there are indications of prior remedial work intended to reduce water penetration concerns, documentation should be obtained from the owner and/or installer. Experience indicates that the majority of water penetration concerns are due to a combination of factors commonly related to inadequate foundation grading and drainage provisions. In many situations, relatively straightforward measures may have a direct effect on the condition; in other cases, the remedy may be more complex or impossible to achieve. Any specific recommendations in the report should be considered; however, be aware that they do not necessarily represent a complete or permanent solution to the condition.

9.7 No evidence of wood destroying insects found in areas visible at time of inspection. Because it is impossible to see the framing in the entire structure due to finished areas, we suggest that you consider a termite service contract from a licensed pest control company.

9.8 Possible asbestos floor tile. Suggesting testing and abatement as needed.

(If you want to install ceramic tile in that area, you can install ECB anti-fracture membrane over the asbestos floor tile for ceramic tile installation, the abatement is not needed.)



9.8 Picture 1

9.9 Whenever there is water penetration, either for a short period or long period, the possibility of growing on organic surfaces such as wood or paper (sheetrock) exists. Have an indoor air quality specialist to test the air quality in the house as precaution is recommended.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. ELECTRICAL SYSTEMS

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

		SA	FA	RR	NI	NP	RK	Styles & Materials
10.0	SERVICE/ENTRANCE LINE	X						ELECTRICAL SYSTEMS: Service Line: Overhead
10.1	SERVICE GROUNDING PROVISIONS	X						Est. Service Capacity: 120/240
10.2	MAIN DISCONNECT(S)	X						Volts; 100 Amps
10.3	DISTRIBUTION PANEL(S)						X	Type Service Feeder: Aluminum Est. Feeder Capacity: 100 Amps
10.4	DEVICES			X				DISTRIBUTION PANEL: Type: Circuit Breaker Panel
10.5	WIRING/CONDUCTORS PANEL	X						Est. Capacity: 100 Amps
10.6	EXPOSED WIRING			X				Main Disconnect: 100 Amps
10.7	METER PAN	X						Location: Basement
10.8	CARBON MONOXIDE DETECTORS			X				120 & 240 VOLT CIRCUITS: 120 Volt Circuits: Copper Wire 240 Volt Circuits: Copper Wire

SA=Satisfactory, FA=Fair, RR=Repair or Replace, NI=Not Inspected, NP=Not Present, RK=Remarks

Electric Panel Manufacturer:
MURRAY

Comments:

10.3 (1) Panel is full - no room for expansion. sub panel(s) or replaced with a bigger panel by a license electrician maybe required.



10.3 Picture 1

(2) panel maybe too small for the size of the house especially for today's living style. Evaluated by a licensed electrician is suggested.

10.4 (1) Many 2-prong ungrounded outlets in the house. Suggest upgrade to 3 prong outlets by a licensed electrician.

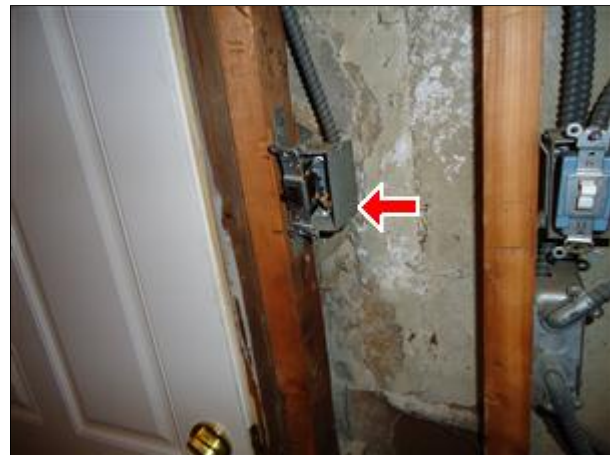
(2) Many painted outlets noted in the house, painted outlets will cause premature failure, should all be replaced by a licensed electrician.

(3) A random sample of outlets were tested. Some were found to have open grounds; some were found to have reverse polarity. Suggest full evaluation and repair/upgrade by a licensed electrician.

10.6 Exposed splices/missing/damaged switch or junction box covers found in many indoor area. Have a licensed electrician for a full evaluation and repair as needed.



10.6 Picture 1



10.6 Picture 2

10.8 There is appears no carbon monoxide detector found in home. It is recommended that one be installed according to the manufacturer's instructions.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11. HEATING SECTION

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

		SA	FA	RR	NI	NP	RK	Styles & Materials
11.0	HEATING UNIT(S)	X						HEATING SYSTEMS: Type: Hot Water Boiler Brand: Well-McLain Fuel: Oil Location: Basement Est. Age: 15 Years+ Design Life: 25-30 years Distribution: Piped w/Convectors
11.1	BURNERS	X						
11.2	COMBUSTION AIR PROVISIONS	X						
11.3	HEATING COILS						X	
11.4	VENT CONNECTOR	X						
11.5	CIRCULAATOR PUMP		X					
11.6	DISTRIBUTION SYSTEMS	X						
11.7	THERMOSTAT	X						
11.8	PRESSURE RELIEF VALVE	X						
11.9	BURIED OIL TANK			X				
		SA	FA	RR	NI	NP	RK	

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Comments:

11.0 Unit is functional at the time of inspection, maintain a service contract with a heating company . Service regularly to prolong life of unit is strongly recommended.

11.1 Based on the age of the burner, anticipate maintenance and repair in the near future. It is functional at the time of inspection.

11.3 Coils in the boiler heat the domestic water. If hot water needs are not met, we recommend replacement of the heat coils or installation of a separate hot water heater.

11.5 Older circulator pumps are present.Based on the age, prepare for replacement in the near future.

11.6 All rooms heated up.

11.9 The buried tank is underground and was not evaluated. It's recommended to pump the oil out of the tank and install tank at another location. Remember to obtain papers that you properly abandoned this oil tank.



11.9 Picture 1

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12. COOLING SYSTEM

		SA	FA	RR	NI	NP	RK	Styles & Materials	
12.0	COOLING SYSTEMS						X	SYSTEM TYPE: Electric Central Air Conditioning	
12.1	OUTDOOR UNIT						X	VISIBLE NUMBER ORF COOLING ZONES: 1 Central Air Zon	
12.2	AIR HANDLER(S) BLOWER(S)/FAN(S)	X						SPECIAL LIMITATIONS: Cold Weather	
12.3	CONDENSATE PROVISIONS						X	MAKE OF OUTDOOR UNIT(S): Carrier	
12.4	EXPOSED DUCTWORK	X						OUTDOOR UNIT LOCATION: Outside- Left Side	
12.5	WALL MOUNTED A/C UNITS				X			OUTDOOR UNIT EST. AGE: 15 years+	
12.6	REGISTERS	X						AIR HANDLER(S) LOCATION: Attic Space	
		SA FA RR NI NP RK							MAKE OF AIR HANDLER(S): Carrier
									AIR HANDLER(S) ESTIMATED AGE: 15 years+
									DESIGN LIFE: 15-20 Years on inside air handler
									GENERAL DISTRIBUTION: Ducted System w/Room Supply Outlets

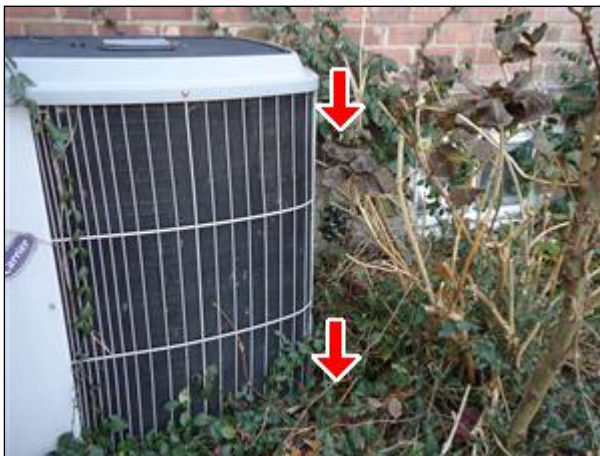
SA=Satisfactory, FA=Fair, RR=Repair or Replace, NI=Not Inspected, NP=Not Present, RK=Remarks

Comments:

12.0 The system was not tested due to cold weather (Below 65 degrees).It is to recommend to test the system when the outside temperature is allow (above 65 degrees).

12.1 (1) Not tested due to the cold weather.

(2) It is suggest to trim the vegetation away from the outdoor unit to maintain the maximum air flow in the area for better efficiency.



12.1 Picture 1

12.2 Blowers operational at time of inspection.

12.3 Condensation leakage can contribute to hidden damage to cooling and heating systems components as well as damage to the finished surfaces and structural members. Condensation leakage also creates an environment conducive to mold growth, All condensation drainage defects should be corrected immediately.

12.5 Wall mounted air conditioners are not part of a standard home inspection. Test is desired.

13. PLUMBING SYSTEM

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

		SA	FA	RR	NI	NP	RK	Styles & Materials
13.0	MAIN WATER SHUT-OFF						X	WATER SUPPLY PIPING: Copper
13.1	WATER PIPING						X	DRAIN/WASTE LINES: Cast Iron
13.2	DRAIN/WASTE PIPING			X				LOCATION OF SHUT-OFFS: Water: at front wall of basement
13.3	LAUNDRY SINK			X				
13.4	WASHER/DRYER						X	
13.5	LAUNDRY DISCHARGE						X	

SA FA RR NI NP RK

SA=Satisfactory, FA=Fair, RR=Repair or Replace, NI=Not Inspected, NP=Not Present, RK=Remarks

Comments:

13.0 Since main shut-off valves are operated infrequently. It's not unusual for them to become difficult to turn over time. They often leak or break when operated after a period of inactivity. For this reason, main shut off valves are not tested during a home inspection.

13.1 With older homes, expect increase plumbing repairs in the near future. No evidence of major defect at the time of inspection.

Please also see bathroom and kitchen sections for more informations.

13.2 (1) Water backup noted in the basement house trap and laundry sink area at time of inspection, indicates waste line is clogged, clear by a licensed plumber as require. Also have the system checked by the plumber to find out possible other hidden problem as needed.



13.2 Picture 1



13.2 Picture 2

13.3 Drain is clogged, clear as required.

13.4 Suggest replace the rubber hoses with stainless steel hoses or install a washing machine automatic shut off valve to protect against water damage from the hoses burst.



13.4 Picture 1

13.5 Discharged into laundry sink

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

14. HOT WATER SUPPLY

SA FA RR NI NP RK

14.0	GENERAL COMMENT/SPECIAL REMARKS					X
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SA FA RR NI NP RK

SA=Satisfactory, FA=Fair, RR=Repair or Replace, NI=Not Inspected, NP=Not Present, RK=Remarks

Comments:

14.0 There is no separate hot water heater installed in the house,coils in the boiler heats the domestic water. If hot water needs are not met, we recommend installation of a separate hot water heater.

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General Summary



888 Home Inspection Inc.

3280 Sunrise Highway
Suite 283
Wantagh, NY 11793
1-888-570-0018

Customer

Ms. Michelle Diamond

Address

888 Home Inspection Way
Wantagh NY 11040

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. ROOFING

1.0 ROOF COVERINGS

Repair or Replace

The roof covering is very old, and the life of covering is approaching the end of the design life. The covering maybe not need to replaced immediately, but anticipate repair or replacement in the near future.

Consult roofer for estimates. 888 Home Inspection is not authorized to give cost estimates. Contact 2-3 roofing contractors to get the approximate cost. Labor rates vary greatly.

1.8 CHIMNEY #1

Repair or Replace

(1) Recommend re-mortar/re-pointing of bricks at the top of the chimney. Contact chimney contractor to repair. This is a common issue with chimneys.

1.9 CHIMNEY CAP #1

Repair or Replace

No chimney cap observed. Recommend installing to prevent the entrance of the elements, local wildlife, and to preserve the life of the chimney as well as minimize maintenance.

2. EXTERIOR

2.4 RAILINGS

Repair or Replace

Handrails are required along the stairway. They must be graspable and securely fastened to the wall and/or support.

2.6 ELECTRIC/GFCI

Repair or Replace

(1) Replace missing/broken weatherproof outlet cover on exterior outlet at front of home, and the outlet has no power at the time of inspection, investigate and repair by a licensed electrician as needed. (or find out from the seller if there is a switch to control the outlet)

2.10 VEGETATIONS

Repair or Replace

It is suggested that vegetations be trimmed away from house. A minimum clearance of 1 foot away from house is recommended.

3. SITE ELEMENTS

3.0 WALKWAYS

Repair or Replace

Cracking/heaving noted. Trip hazard, repair or replace as needed.

3.2 BASEMENT WINDOW/WINDOW WELLS

Repair or Replace

Rotted wood window frame noted, repair place as needed.

3.5 SUB-GRADE ENTRYWAY

Repair or Replace

(1) Crack/deteriorated Sub-Grading entryway retaining wall noted, repair as needed.

(2) Sump pump noted at the sub-grade entryway, not checked due to low water level in the pit. It is to recommend to find out from the seller if the pump is in good working condition.

Sump pump is improperly wired to outdoor outlet with extension cable, corrected by a licensed electrician as needed.

3.7 FENCES/GATES

Repair or Replace

Damaged fencing observed. Have repaired.

3.8 VEGETATIONS

Repair or Replace

There is a tree growing too close to the left of the house, recommend remove or trimmed away from home.

4. GARAGE**4.0 ROOF COVERING****Repair or Replace**

Well beyond design life,replace as needed.

4.1 SIDING/WALL**Repair or Replace**

Asbestos cement siding at garage,racks and damaged sidings noted at many places.repair and replace as needed.

4.5 GARAGE FLOOR**Repair or Replace**

Heavily cracked and settled. Contact mason to repair/replace as needed.

4.6 VEHICLE DOOR(S)**Repair or Replace**

(1) No handle at door,recommend adding one.

4.7 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)**Repair or Replace**

The garage door openers are in place but are not operational.replace as needed.

4.8 ELECTRIC /GFCI**Repair or Replace**

Not GFCI outlets;Recommend install GFCI outlets in garage for safety.

5. ATTIC**5.3 INSULATION****Repair or Replace**

Insulation is inadequate according to today's standard, recommend adding adequate insulation for energy efficiency.

6(A). Bathroom # 1**6.0.A SINK(S)****Repair or Replace**

Stopper is missing. Correct is needed.

6.1.A WATER FLOW AT FIXTURES**Repair or Replace**

Leak at hot /cold water piping. Repair as soon as possible to prevent further damage to the vanity or bathroom subfloor as needed.

6.7.A WALLS**Repair or Replace**

Cracks noted at wall,repair as needed.

6.9.A ELECTRIC/GFCI**Repair or Replace**

Not GFCI outlets, replaced with GFCI outlet in all bathroom areas by a licensed electrician is recommended.

6(B). Bathroom # 2**6.1.B WATER FLOW AT FIXTURES****Repair or Replace**

(1) The cold water supply pressure/flow to the sink is very low and needs to be checked by a qualified plumber and corrected as needed to provide normal flow levels.

6.10.B DOOR**Repair or Replace**

Damage noted at the closet door, repair as needed.

6(C). Bathroom # 3**6.0.C GENERAL COMMENTS/SPECIAL REMARKS****Repair or Replace**

The basement bathroom is under renovation, work is not complete at the time of inspection, have an estimate from a licensed constructor for the cost of completion as recommended.

7. KITCHEN**7.1 WATER FLOW AT FIXTURES****Repair or Replace**

Faucet hand spray control is damaged, replace as needed,

7.7 ELECTRIC/GFCI**Repair or Replace**

Not all outlets are GFCI outlets, replaced all the outlets with GFCI outlets in all kitchen area by a licensed electrician is recommended.

8. INTERIOR ELEMENT**8.4 RAILINGS****Repair or Replace**

Handrail is loose; correct as required.

9. FOUNDATION / SUBSTRUCTURE

9.0 FOUNDATION WALLS

Repair or Replace

(1) Signs of deterioration and spalling noted at concrete foundation wall, contact foundation specialist for an evaluation / repair as needed.

(2) No signs of significant cracking at time of inspection.

9.6 WATER PENETRATION CONCERNS

Repair or Replace

(1) Peeling/curling floor tiles indicates possible water penetration problems, evaluate by a basement water proof specialist as recommended.

9.8 POSSIBLE ASBESTOS ISSUES

Repair or Replace

Possible asbestos floor tile. Suggesting testing and abatement as needed.

(If you want to install ceramic tile in that area, you can install ECB anti-fracture membrane over the asbestos floor tile for ceramic tile installation, the abatement is not needed.)

10. ELECTRICAL SYSTEMS

10.4 DEVICES

Repair or Replace

(1) Many 2-prong ungrounded outlets in the house. Suggest upgrade to 3 prong outlets by a licensed electrician.

10.6 EXPOSED WIRING

Repair or Replace

Exposed splices/missing/damaged switch or junction box covers found in many indoor area. Have a licensed electrician for a full evaluation and repair as needed.

10.8 CARBON MONOXIDE DETECTORS

Repair or Replace

There is appears no carbon monoxide detector found in home. It is recommended that one be installed according to the manufacturer's instructions.

11. HEATING SECTION

11.9 BURIED OIL TANK

Repair or Replace

The buried tank is underground and was not evaluated. It's recommended to pump the oil out of the tank and install tank at another location. Remember to obtain papers that you properly abandoned this oil tank.

13. PLUMBING SYSTEM

13.2 DRAIN/WASTE PIPING

Repair or Replace

(1) Water backup noted in the basement house trap and laundry sink area at time of inspection, indicates waste line is clogged, clear by a licensed plumber as require. Also have the system checked by the plumber to find out possible other hidden problem as needed.

13.3 LAUNDRY SINK

Repair or Replace

Drain is clogged, clear as required.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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888 Home Inspection Inc.

**3280 Sunrise Highway
Suite 283
Wantagh, NY 11793
1-888-570-0018**

Home Inspector: Kin Li

A handwritten signature in black ink, appearing to read 'Kin Li', is written below the printed name.